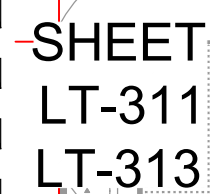


LANDSCAPE DOCUMENTATION SET FOR S4.55



SHEET
LT-312
LT-314

LT-000	COVER SHEET	LT-700	TYPICAL DETAILS - SHEET 1
LT-001	LEGEND, GENERAL NOTES & PLANTING SCHEDULE	LT-701	TYPICAL DETAILS - SHEET 2
LT-201	EXISTING TREE PLAN		
LT-301	LOWER GROUND FLOOR - LANDSCAPE PLANS		
LT-311	LEVEL 1 - GENERAL ARRANGEMENT PLAN - SHEET 1		
LT-312	LEVEL 1 - GENERAL ARRANGEMENT PLAN - SHEET 2		
LT-313	LEVEL 1 - PLANTING PLAN - SHEET 1		
LT-314	LEVEL 1 - PLANTING PLAN - SHEET 2		
LT-321	LEVEL 4 & LEVEL 15 - LANDSCAPE PLANS		

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scaling.
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4. Refer to architect's drawings for final internal footprint, FFL of the proposed building.
5. Refer to stormwater engineer's drawings for final location of OSD tanks, rainwater tanks, grate drain and pits, proposed street and driveway levels.
6. Locate and protect all underground services prior to any excavation.
7. The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Kate Gong AILA #12247

PRELIMINARY
NOT FOR CONSTRUCTION

CLIENT:

**NEW GOLDEN ST LEONARDS
PTY LTD**

PROJECT CONTACT

STUDIO IZ PTY LTD ABN: 20 611 333 521
TEL: +61 02 8004 6946 EMAIL: info@studioiz.com.au
Suite 403, Level 4, Tower B, Citadel Towers, 799 Pacific Hwy,
Chatswood NSW 2067

APPROVED KG	DRAWN XL / YR / BW
DATE CREATED OCT 2023	PROJECT NO. LA220927

DRAWING TITLE
Cover Sheet

SCALE A1 1:200	NORTH POINT 
DRAWING NO. LT-000	ISSUE G

<u>GENERAL</u>	
	SITE BOUNDARY
	LINE OF BUILDING BELOW
	LINE OF ROOF ABOVE
	<u>EXISTING CONTOUR</u> refer to survey
	<u>PROPOSED CONTOURS</u> for design intent only
	<u>PROPOSED CONTOURS</u> for public domain works refer to civil engineer's drawings
+ [76.06]	EXISTING LEVEL
+ 76.40	PROPOSED SPOT LEVEL
+ TW76.40	PROPOSED TOP OF WALL LEVEL

The diagram illustrates various landscape symbols and their corresponding text descriptions, organized into two columns.

Left Column:

- T12:** A red dashed circle with a red dot in the center, labeled "T12".
- T16:** A green dashed circle with a green dot in the center, labeled "T16".
- TPZ:** A large black circle with a smaller black circle inside, labeled "TPZ".
- SRHUBS:** A large black circle with a smaller black circle inside, labeled "SRHUBS".
- GROUND COVER:** A rectangle with a wavy border, labeled "GROUND COVER".
- GARDEN BED:** A rectangle with diagonal lines, labeled "GARDEN BED".
- TURF:** A rectangle with a dotted pattern, labeled "TURF".
- MULCH:** A rectangle with a cross-hatch pattern, labeled "MULCH".

Right Column:

- EXISTING TREES:** already removed
- EXISTING TREES:** to be retained & protected
TPZ (tree protection zone) refer to arborist's report
- PROPOSED TREES:** refer to planting plan & schedule
- PROPOSED SRHUBS:** refer to planting plan & schedule
- PROPOSED GROUND COVER:** refer to planting plan & schedule
- GARDEN BED:** as detailed & specified
- PROPOSED TURF:** as detailed & specified
- PLAYGROUND MULCH:** as detailed & specified

DR:		CONCRETE DRIVEWAY design levels & extent by others
BAL		PAVING AT POS / BALCONY refer to architect's specification
P1		PAVING TYPE 1 paving at building entrances refer to architect's drawing
P2		PAVING TYPE 2 exposed aggregate concrete refer to material schedule
P3		PAVING TYPE 3 sandstone pavers refer to material schedule
P4		PAVING TYPE 4 roof top paving for L11 refer to material schedule
P5		PAVING TYPE 5 standard concrete paving / concrete pad for street furniture
P6		PAVING TYPE 6 permeable paving refer to architect's specification
DK1		DECKING TYPE 1 composite decking at L1 refer to material schedule
DK2		DECKING TYPE 2 composite decking at L11 refer to material schedule
SY		SYNTHETIC TURF refer to material schedule
SF1/2/3/4		SOFTFALL SURFACE with various colours refer to material schedule
FENCES & BARRIERS		
F1		FENCE TYPE 1 1.2m metal fence to private open space refer to material schedule
F2		FENCE TYPE 2 1.8m metal fence refer to material schedule
F3		FENCE TYPE 3 1.8m timber temporary boundary fence (TBC)
F4		FENCE TYPE 4 Balcony balustrades refer to architect's drawings
BA		BALUSTRADE TYPE 1 Iron/Metal balustrade to comply with BCA requirement, refer to material schedule
H1		HANDRAIL TYPE 1 refer to material schedule
H2		HANDRAIL TYPE 1 refer to material schedule

ID	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT	SPREAD	SPACING	QTY
LG / L1 Landscape & Pocket Park							
Trees							
An-co	<i>Angophora costata</i>	Sydney Red Gum	75lt	15-25m	6-12m	As Shown	2
An-fl	<i>Angophora floribunda</i>	Rough Barked Apple	75lt	20m	8m	As Shown	4
Cu-an	<i>Cupaniopsis anacardioides</i>	Tuckeroo	75lt	8-15m	5-10m	As Shown	3
El-eu	<i>Elaeocarpus eumundi</i>	Quandong	75lt	8m	5m	As Shown	2
El-re	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	75lt	12m	5m	As Shown	3
La-na	<i>Lagerstroemia indica x fauriei 'Natchez'</i>	Crepe Myrtle	75lt	8m	4m	As Shown	6
La-zu	<i>Lagerstroemia indica x fauriei 'Zuni'</i>	Crepe Myrtle	75lt	4m	3m	As Shown	1
Ma-te	<i>Magnolia 'Teddy Bear'</i>	Dwarf Magnolia	45lt	4m	3m	As Shown	12
Pr-bl	<i>Prunus x blireana</i>	Purple Leaf Plum	45lt	5m	3-4m	As Shown	2
Tr-lu	<i>Tristanopsis laurina 'Luscious'</i>	Luscious Water Gum	75lt	12m	5m	As Shown	3
Shrubs							
Ag-at	<i>Agave attenuata</i>	Century Plant	300mm	1m	0.5m	As Shown	22
Al-br	<i>Alocasia brisbanensis</i>	Spoon Lily	300mm	1-2m	2-3m	As Shown	4
Bu-ja	<i>Buxus microphylla var japonica</i>	Japanese Box	300mm	1m	0.7m	0.25m centres	23
Ca-li	<i>Callistemon linearis</i>	Narrow-leaved Bottlebrush	300mm	1.5-3m	1-2m	0.8m centres	57
Co-re	<i>Correa reflexa</i>	Native Fuchsia	300mm	0.5-1.2m	0.5-1m	0.7m centres	8
Cr-bl	<i>Crassula 'Blue Bird'</i>	Bluebird	300mm	1m	1m	0.6m centres	10
Cr-mi	<i>Crassula ovata 'Minima'</i>	Dwarf Jade Plant	300mm	0.8m	0.8m	0.7m centres	11
Cr-pe	<i>Crinum pedunculatum</i>	Swamp Lily	300mm	1.5-2m	1-2m	As Shown	10
Gr-se	<i>Grevillea sericea</i>	Silky Grevillea	300mm	1-2m	1-2m	1m centres	15
Ph-xa	<i>Philodendron Xanadu</i>	Philodendron Xanadu	300mm	0.75m	0.8m	0.6m centres	120
Pl-si	<i>Plectranthus argentatus 'Silver Shield'</i>	Silver Spurlflower	300mm	0.5-1m	1-1.5m	0.7m centres	15
Rh-sn	<i>Rhaphiolepis indica 'Snow maiden'</i>	Indian Hawthorn Snow Maiden	300mm	0.75m	0.5mm	0.5m centres	9
Rh-or	<i>Rhaphiolepis 'Oriental Pearl'</i>	Indian Hawthorn	300mm	1m	1m	0.8m centres	59
Sy-re	<i>Syzygium australe 'Resilience'</i>	Lilly Pilly	300mm	4-5m	2-3m	1m centres	41
Sy-ca	<i>Syzygium 'Cascade'</i>	Cascade Lilly Pilly	300mm	2-3m	2m	1m centres	49
Sy-fi	<i>Syzygium 'Fire Screen'</i>	Lilly Pilly	300mm	2-4m	1-1.5m	1m centres	24
Vi-de	<i>Viburnum 'Dense Fence'</i>	Sweet Viburnum	300mm	2.5-3m	1-2m	0.8m centres	18
We-au	<i>Westringia fruticosa 'Aussie Box'</i>	Westringia Aussie Box	300mm	0.7-1m	0.7m	0.7m centres	19
We-wy	<i>Westringia fruticosa 'Wynnyabbie Gem'</i>	Westringia 'Wynnyabbie Gem'	300mm	1.5-2m	1.5-2m	0.9m centres	31
Groundcovers & Grasses							
Ca-co	<i>Casuarina glauca 'Cousin It'</i>	Sheoak	140mm	0.1-0.2m	1-2m	3/m2	104
Di-ca	<i>Dianella caerulea</i>	Blue Flax Lily	140mm	0.5-1m	0.5-1m	4/m2	93
Di-li	<i>Dianella revoluta 'Little Rev'</i>	Little Rev Dianella	140mm	0.4m	0.4m	6/m2	30
Di-re	<i>Dichondra repens</i>	Kidney Weed	tube	0.2m	1.5m	6/m2	250
Do-ex	<i>Doranthus excelsa</i>	Gymea Lily	200mm	0.9-1.2m	0.6-0.9m	1/m2	20
Li-ev	<i>Liriope Muscarii 'Evergreen Giant'</i>	Turf Lily	140mm	0.6m	0.6m	5/m2	103
Lo-ka	<i>Lomandra longifolia 'Katrinus'</i>	Mat Rush	140mm	0.6-0.7m	0.6-0.7m	5/m2	20
Lo-ta	<i>Lomandra longifolia 'Tanika'</i>	Lomandra Tanika	140mm	0.5m	0.5m	5/m2	103
My-ya	<i>Myoporum parvifolium 'Yareena'</i>	Yareena	140mm	0.1m	1-2m	3/m2	28
Ph-fl	<i>Phormium tenax 'Flamin'</i>	New Zealand Flax	140mm	0.6-1m	0.6-1m	0.6m centres	18
Se-bl	<i>Senecio mandraliscae 'Blue Chalksticks'</i>	Blue Chalksticks	140mm	0.3m	1m	0.6m centres	13
Vi-he	<i>Viola hederacea</i>	Native Violet	tube	0.1-0.2m	1m	4/m2	126
Zo-te	<i>Zoysia tenuifolia</i>	Korean tenuifolia	140mm	0.1m	0.4m	8/m2	100
Palms & Ferns							
As-au	<i>Asplenium australasicum</i>	Birds Nest Fern	140mm	0.5-1.5m	0.5-1.5m	As Shown	15
As-ni	<i>Asplenium nidus</i>	Birds Nest Fern	140mm	0.6-1m	1.5m	As Shown	12
Bl-si							

Shrubs							
Cr-bl	<i>Crassula 'Blue Bird'</i>	Bluebird	200mm	1m	1m	0.6m centres	44
Rh-sn	<i>Rhaphiolepis indica 'Snow maiden'</i>	Indian Hawthorn Snow Maiden	200mm	0.75m	0.5m	0.5m centres	39
We-gr	<i>Westringia fruticosa 'Grey Box'</i>	Westringia Grey Box	200mm	0.4m	0.4m	0.3m centres	36
Groundcovers							
Di-si	<i>Dichondra 'Silver Falls'</i>	Kidney Weed	tube	0.2m	1m	6/m2	44
My-ya	<i>Myoporum parvifolium 'Yareena'</i>	Yareena	200mm	0.1m	1-2m	3/m2	12
Se-bl	<i>Senecio mandraliscae 'Blue Chalksticks'</i>	Blue Chalksticks	68mm	0.3m	1m	0.6m centres	35

Trees								
Pl-bl	<i>Plumeria 'Black Jack Red'</i>	Frangipani Black Jack Red	75lt	6m		4m	As Shown	1
Pl-re	<i>Plumeria Darwin Blood Red'</i>	Frangipani Darwin Blood Red	75lt	6m		4m	As Shown	1
Pl-pi	<i>Plumeria 'Pink'</i>	Frangipani Pink	75lt	6m		4m	As Shown	1
Pl-tr	<i>Plumeria 'Tricolour'</i>	Frangipani Tricolour	75lt	6m		4m	As Shown	1
Pl-wh	<i>Plumeria 'White'</i>	Frangipani White	75lt	6m		4m	As Shown	2
Shrubs								
Ag-at	<i>Agave attenuata</i>	Century Plant	200mm	1m		0.5m	As Shown	2
Cr-bl	<i>Crassula 'Blue Bird'</i>	Bluebird	200mm	1m		1m	0.6m centres	20
Ga-ka	<i>Gaura lindheimeria 'Karale Petite'</i>	Butterfly Bush	200mm	0.6m		1m	0.4m centres	8
Ka-si	<i>Kalanchoe 'Silver Spoon'</i>	Kalanchoe Bracteata	200mm	1.5m		1.5m	1m centres	5
Ph-xa	<i>Philodendron Xanadu</i>	Philodendron Xanadu	200mm	0.75m		0.8m	0.6m centres	12
Rh-sn	<i>Raphiolepis indica 'Snow maiden'</i>	Indian Hawthorn Snow Maiden	200mm	0.75m		0.5mm	0.5m centres	22
We-gr	<i>Westringia fruticosa 'Grey Box'</i>	Westringia Grey Box	200mm	0.4m		0.4m	0.3m centres	16
Groundcovers								
Di-ca	<i>Dianella caerulea</i>	Blue Flax Lily	140mm	0.5-1m		0.5-1m	4/m2	12
Di-si	<i>Dichondra 'Silver Falls'</i>	Kidney Weed	tube	0.2m		1m	6/m2	45
Me-cr	<i>Mesembryanthemum crinitiflorum</i>	Ice Plan	tube	0.2m		1m	6/m2	6
My-yi	<i>Myoporum parvifolium 'Yareena'</i>	Yareena	200mm	0.1m		1-2m	3/m2	10
Se-bl	<i>Senecio mandraliscae 'Blue Chalksticks'</i>	Blue Chalksticks	68mm	0.3m		1m	0.6m centres	15

Note: Any planting replacement and adjustments of planting density / quantity to be approved by project landscape architect for final sign off at completion.

1. REFER TO ARCHITECT'S DRAWINGS FOR ALL INTERNAL BUILDING LAYOUT & LEVELS.
2. REFER TO CIVIL ENGINEERS DRAWINGS FOR PROPOSED DRAINAGE, SEWER LINES, MANHOLES, DRAINAGE PITS, SUB-SOIL DRAINS AND SWALES.
3. REFER TO CIVIL ENGINEERS PUBLIC DOMAIN DRAWINGS FOR ALL PROPOSED SHARE PATH / FOOTPATH, DRIVEWAY, VEHICULAR CROSSOVERS, AND ROAD ADJACENT WORKS.
4. ALL PROPOSED CIVIL WORK WITHIN THE PUBLIC RESERVE TO BE APPROVED BY PROJECT ARBORETT FOR THE PROTECTION OF EXISTING STREET TREES.
5. REFER TO CIVIL ENGINEERS DRAWINGS FOR ALL PAVEMENT JOINTS, PAVEMENT SUBSTRATE DETAILS
6. THIS THOUGHTFULNESS SET SHALL BE READ IN CONJUNCTION WITH ARCHITECT'S, CIVIL, STORMWATER, AND STRUCTURAL ENGINEER'S DRAWINGS.
7. LOCATE AND PROTECT ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION. PROPOSED TREES TO BE LOCATED MINIMUM 6M FROM ANY EXISTING SEWER LINES, ALL UNDERGROUND SERVICES TO BE LOCATED AND PROTECTED PRIOR TO ANY EXCAVATION AND INSTALLATION OF TREES.
8. ANY DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE SUPERINTENDENT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS.
9. DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS HAVE PREFERENCE OVER SCALED DIMENSIONS
10. SUPERINTENDENT TO CHECK EXISTING LEVELS ALONG SITE BOUNDARY TO CONFIRM EXTENT AND HEIGHT OF PROPOSED RETAINING WALLS. OBTAIN APPROVAL FROM SUPERINTENDENT AND PROJECT LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION
11. THIS DRAWING SET IS TO BE PRINTED IN COLOUR.
12. HANDRAILS, SAFETY BALUSTRADES, AND TGS1 TO BE INSTALLED WHERE REQUIRED FOR ALL EXTERNAL RAMPS, STAIRS, ETC TO COMPLY WITH BCA AND AS 1428.1:2009
13. QUALIFIED IRRIGATION CONSULTANT TO PROVIDE DETAILED IRRIGATION DESIGN AND DOCUMENTATION FOR APPROVAL. IRRIGATION TO BE PROVIDED TO ALL PROPOSED GARDEN BED, AND TURF AREAS.
14. DIMENSIONS ARE IN MILLIMETERS, LEVELS SHOWN ARE IN METERS, DO NOT SCALE ANY DRAWINGS.

APPROVED SIMILAR

THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO SUIT THE FOLLOWING:

- THE WATER REQUIREMENTS OF PLANT TYPES.
- THE INFILTRATION RATE OF THE SOIL AS WELL AS SEASONS, EXPOSURE, TOPOGRAPHY AND ANY LOCAL AUTHORITY RESTRICTIONS.
- ADJUSTMENT OR SHUT DOWN DURING AND AFTER PERIODS OF PROLONGED HEAVY RAIN

TO BE MAINTAINED FOR THE PLANTING ESTABLISHMENT PERIOD.

LANDSCAPE MAINTENANCE IS TO BE UNDERTAKEN FOR A PERIOD OF 52 WEEKS FROM THE DATE OF PRACTICAL COMPLETION DURING WHICH TIME THE CONTRACTOR SHALL BE TO MAINTAIN AND ANNUALLY REPAIR THE PLANTING AND ANY DEFECTS THEREON.

WHICH BECOME APPARENT, ARE TO BE RECTIFIED. WORK IS TO INCLUDE BUT SHALL NOT BE LIMITED TO:

- WEEDING: WEEDS ARE TO BE REMOVED FROM LAWN, GARDEN BED AREAS AND PAVEMENT BY HAND OR ENVIRONMENTALLY ACCEPTABLE CHEMICAL APPLICATION.
- FERTILISING: APPROVED FERTILISER IS TO BE APPLIED IN ACCORDANCE WITH PLANT TYPE AND SEASONAL GROWTH REQUIREMENTS.
- PRUNING: PRUNING WORKS ARE TO BE CARRIED OUT TO ENHANCE PLANT VIGOUR, MAINTAIN DENSE FOLIAGE AND REMOVE SAFETY HAZARDS OR DEAD AND DAMAGED MATERIAL. MAJOR TREE PRUNING OR LOPPING IS TO BE CARRIED OUT BY A SUITABLY QUALIFIED TREE SURGEON/ARBORIST.
- STAKES AND TIES: TREE STAKES AND TIES ARE TO BE ADJUSTED AND REPLACED AS REQUIRED AND REMOVED WHEN THE PLANT HAS ACHIEVED A FULL ESTABLISHMENT.
- INSECT AND DISEASE CONTROL: PESTS AND DISEASES THAT MAY AFFECT THE PLANTS ARE TO BE CONTROLLED BY NATURAL OR APPROVED CHEMICAL METHOD.
- MOWING: AS REQUIRED DEPENDING ON SEASONAL CONDITIONS AND TURF HEIGHT.
- PLANT REPLACEMENT: FAILED, DEAD OR DAMAGED PLANTS ARE TO BE REPLACED WITH PLANTS OF THE SAME SPECIES AND SIZE.
- WASTE REMOVAL: NO WASTE IS TO BE LEFT ON SITE. WASTE IS TO BE DISPOSED AT A DESIGNATED WASTE REMOVAL SITE.
- EXISTING PLANTING AND GRASS: EXISTING GRASS AND PLANTING WITHIN THE LANDSCAPE CONTRACT AREA IS TO BE MAINTAINED IN THE SAME WAY AS THE EXISTING GRASS AND PLANTING.
- HARDWORKS: LEAVES, MULCH AND ORGANIC DEBRIS ARE TO BE REMOVED FROM PAVEMENT AND DRAINS. ANY DEFECTIVE PAVEMENTS ARE TO BE MADE GOOD.

IRREGULARITIES: ALL COMPONENTS ARE TO BE CHECKED FOR PROPER OPERATION. DAMAGED COMPONENTS ARE TO BE REPAIRED OR REPLACED WITH PARTS FROM THE SAME MANUFACTURER. DIRT OR FOREIGN MATTER ARE TO BE FLUSHED FROM THE SYSTEM AND ANY BLOCKAGES CLEARED.

NOTE

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6. Locate and protect all underground services prior to any excavation.
7. The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Kate Gungo AILA #12247

G	06/11/2024	ISSUED FOR \$4.55
F	14/08/2024	ISSUED FOR \$4.55
E	16/05/2024	ISSUED FOR \$4.55
D	16/10/2023	ISSUED FOR \$4.55
C	12/10/2023	ISSUED FOR \$4.55
B	23/05/2023	ISSUED FOR 70% TENDER
A	11/04/2023	ISSUED FOR 70% TENDER
REV	DATE	DESCRIPTION

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
3 HOLDSWORTH AVE, ST LEONARDS
NSW 2065

CLIENT:

**NEW GOLDEN ST LEONARDS
PTY LTD**

PROJECT CONTACT

STUDIO IZ

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Suite 403, Level 4, Tower B, Citadel Towers, 799 Pacific Hwy,
Chatswood NSW 2067

APPROVED KG	DRAWN XL / YR / BW
DATE CREATED OCT 2023	PROJECT NO. LA220927

DRAWING TITLE

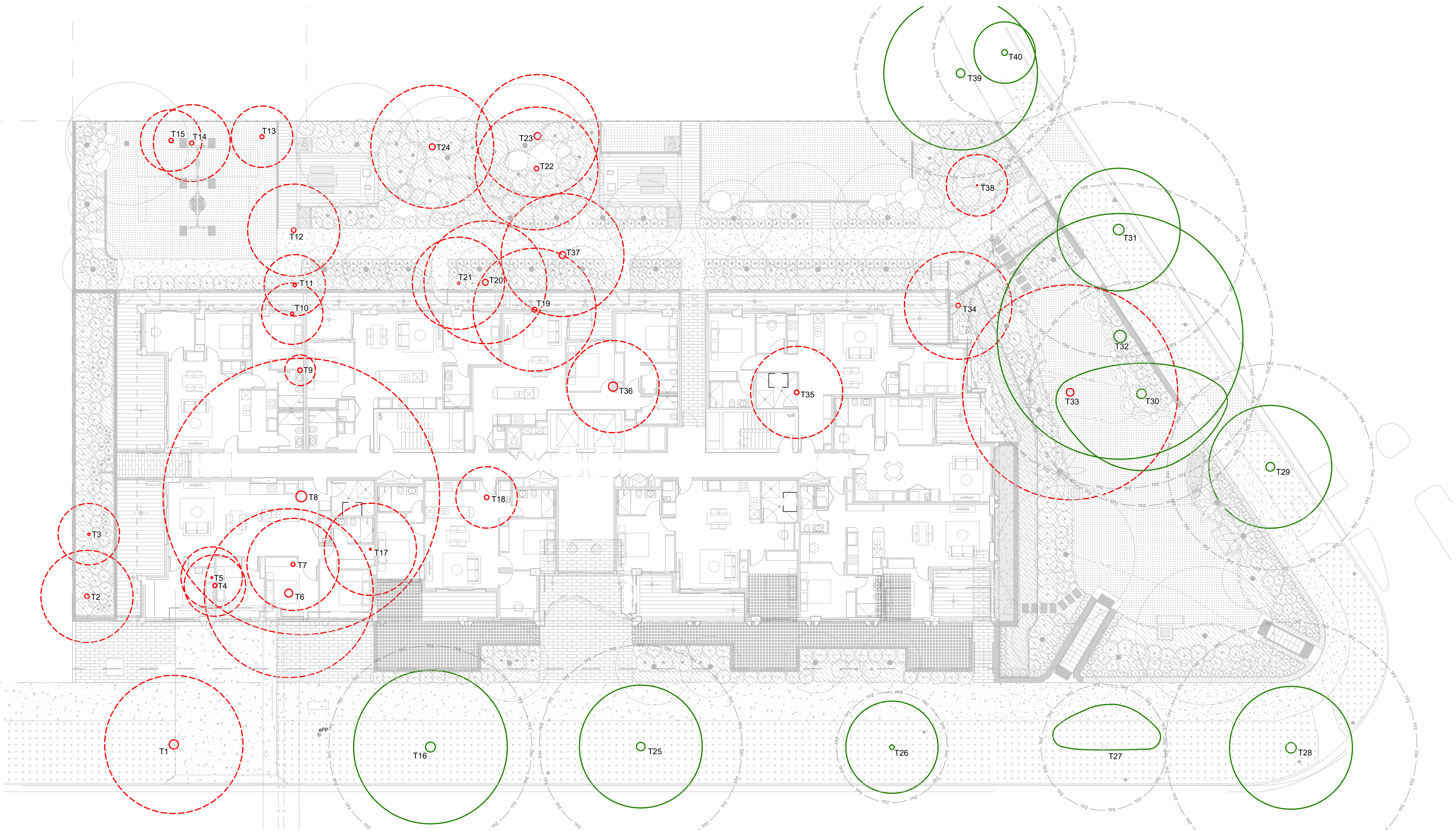
Legend, Notes & Planting Schedule

SCALE A1 N/A	NORTH POINT 
DRAWING NO.	ISSUE

LT-001

G

EXISTING TREE PLAN



EXISTING TREE SCHEDULE

ID	BOTANICAL NAME	LOCATION	DIMENSION (METRES)
Trees to be retained			
T16	Lophostemon confertus	Holdsworth Avenue verge	13x10
T25	Lophostemon confertus	Holdsworth Avenue verge	12x8
T26	Lophostemon confertus	Holdsworth Avenue verge	7x6
T27	Lophostemon confertus	Holdsworth Avenue verge	7x7
T28	Lophostemon confertus	Holdsworth Avenue verge	12x8
T29	Lophostemon confertus	Marshall Avenue verge	12x8
T30	Angophora costata	Front 12 Marshall Ave	12x9
T31	Lophostemon confertus	Marshall Avenue verge	14x8
T32	Eucalyptus resinifera	Front 12 Marshall Ave	19x16
T39	Lophostemon confertus	14 Marshall Avenue	12x10
T40	Jacaranda mimosifolia	Marshall Avenue verge	4x4

ID	BOTANICAL NAME	LOCATION	DIMENSION (METRES)
Trees to be removed			
T1	Lophostemon confertus	Holdsworth Avenue verge	14x10
T2	Melaleuca bracteata	3 Holdsworth Ave	9x6
T3	Camellia sasanqua	3 Holdsworth Ave	6x4
T4	Archontophoenix cunninghamiana	3 Holdsworth Ave	11x4
T5	Archontophoenix cunninghamiana	3 Holdsworth Ave	10x4
T6	Angophora costata	3 Holdsworth Ave	13x10
T7	Pittosporum undulatum	3 Holdsworth Ave	7x6
T8	Angophora costata	3 Holdsworth Ave	17x18
T9	Cyathea cooperi	3 Holdsworth Ave	8x2
T10	Camellia sasanqua	3 Holdsworth Ave	6x4
T11	Camellia sasanqua	3 Holdsworth Ave	6x4
T12	Camellia sasanqua	3 Holdsworth Ave	6x6
T13	Michelia doltsopa	3 Holdsworth Ave	8x4
T14	Triadica sebifera	3 Holdsworth Ave	7x5
T15	Viburnum odoratissimum	3 Holdsworth Ave	7x4
T17	Howea forsteriana	1 Holdsworth Ave	7x6
T18	Michelia figo	1 Holdsworth Ave	6x4
T19	Melaleuca styphelioides	1 Holdsworth Ave	11x8
T20	Melaleuca styphelioides	1 Holdsworth Ave	11x8
T21	Howea forsteriana	1 Holdsworth Ave	7x6
T22	Viburnum odoratissimum	1 Holdsworth Ave	8x8
T23	Melaleuca bracteata	1 Holdsworth Ave	10x8
T24	Leptospermum petersonii	1 Holdsworth Ave	9x8
T33	Angophora costata	12 Marshall Ave	14x12
T34	Fraxinus raywoodii	12 Marshall Ave	7xx7
T35	Largerstroemia india	12 Marshall Ave	7x6
T36	Phoenix canariensis	12 Marshall Ave	8x6
T37	Bankia integrifolia	12 Marshall Ave	10x6
T38	Largerstroemia india	Front 12 Marshall Ave	6x4

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B	23/05/2023	ISSUED FOR 70% TENDER
A	11/04/2023	ISSUED FOR 70% TENDER
REV	DATE	DESCRIPTION

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
3 HOLDSWORTH AVE, ST LEONARDS
NSW 2065

CLIENT:
NEW GOLDEN ST LEONARDS
PTY LTD

PROJECT CONTACT

STUDIO IZ

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Suite 403, Level 4, Tower B, Citadel Towers, 759 Pacific Hwy,
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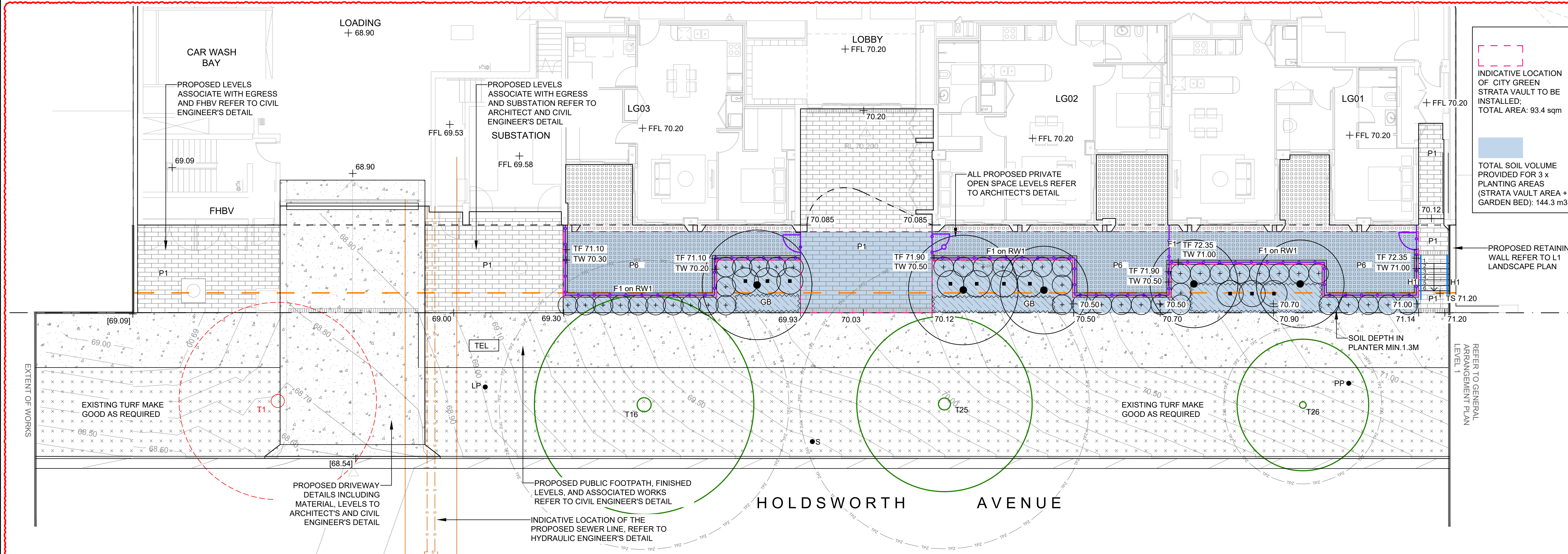
APPROVED	DRAWN
KG	XL / YR / BW
DATE CREATED	PROJECT NO.
OCT 2023	LA220927

DRAWING TITLE
Existing Tree Plan

SCALE	NORTH POINT
A1 1:150	

DRAWING NO.	ISSUE
LT-201	G

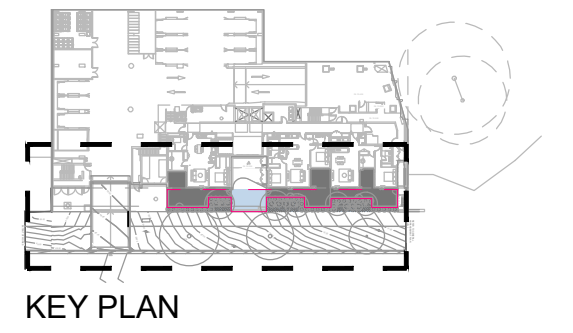
G



LOWER GROUND FLOOR - GENERAL ARRANGEMENT PLAN



LOWER GROUND FLOOR - PLANTING PLAN



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3 HOLDSWORTH AVE, ST LEONARDS
NSW 2065

CLIENT:
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PTY LTD

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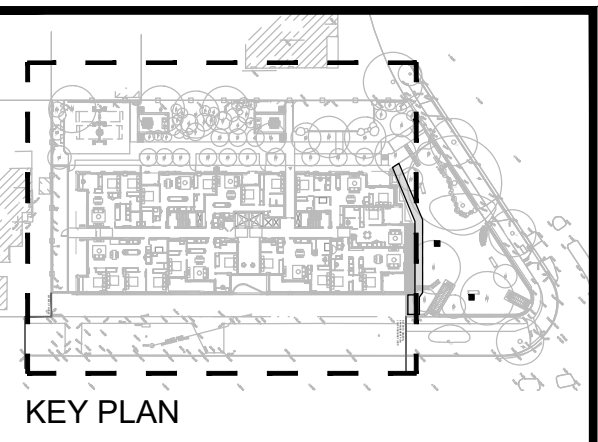
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DATE CREATED OCT 2023	PROJECT NO. LA220927

DRAWING TITLE
**Lower Ground Floor
Landscape Plans**

SCALE A1 1:100	NORTH POINT
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DRAWING NO. LT-301	ISSUE G
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PROJECT:
3 HOLDSWORTH AVE, ST LEONARDS
NSW 2065

CLIENT:

**NEW GOLDEN ST LEONARDS
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PROJECT CONTACT

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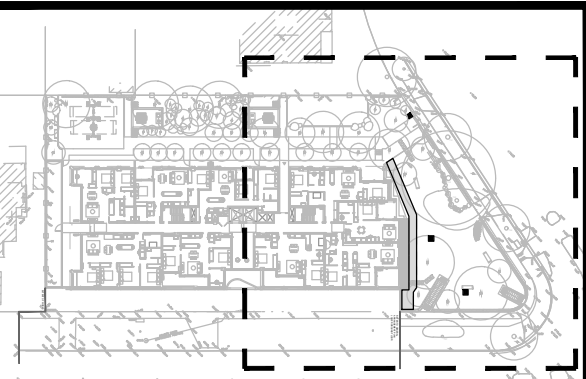
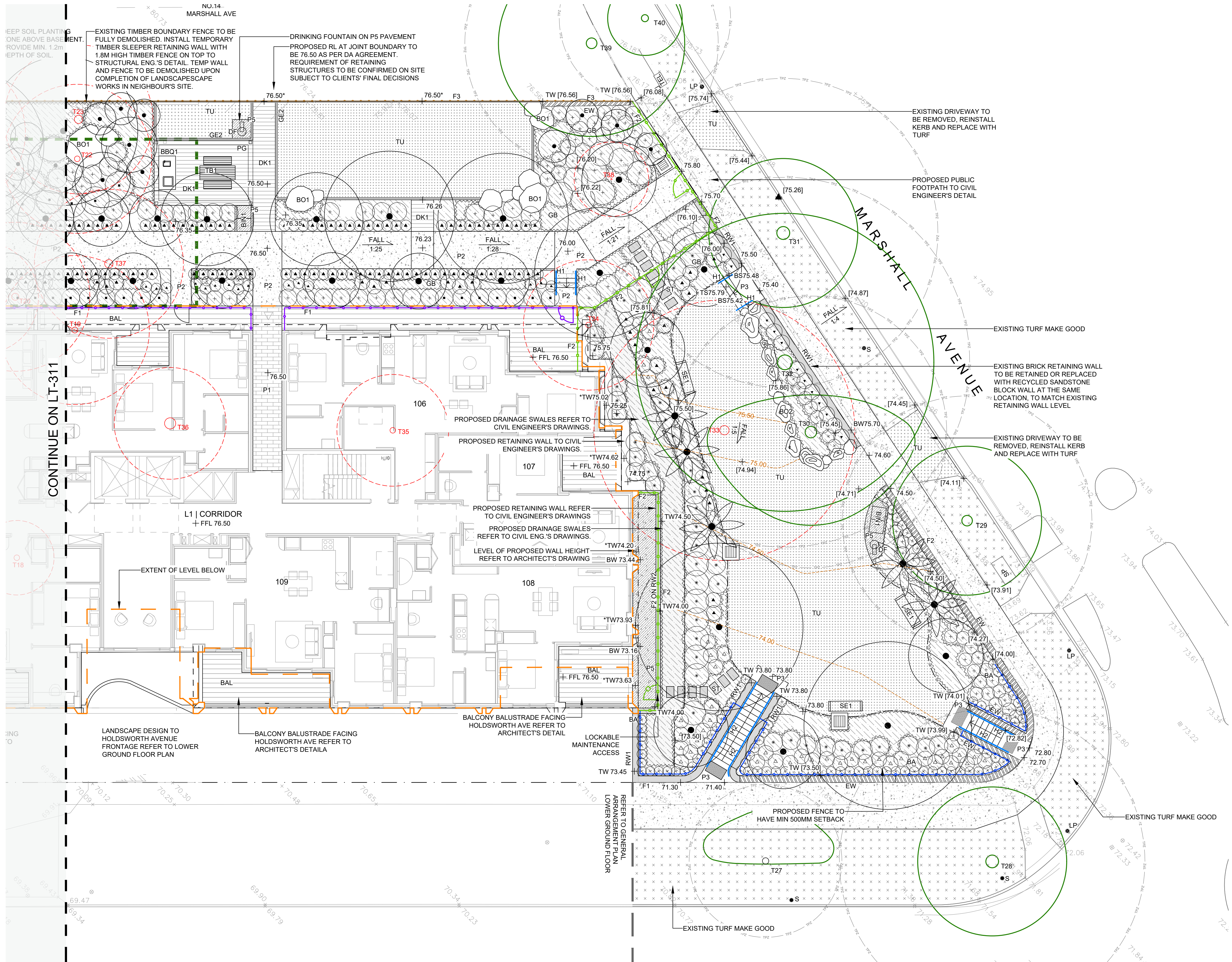
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DATE CREATED OCT 2023	PROJECT NO. LA220927

DRAWING TITLE

**L1 General Arrangement
Plan - Sheet 1**

SCALE A1 1:100	NORTH POINT 
DRAWING NO. LT-311	ISSUE G



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NSW 2065

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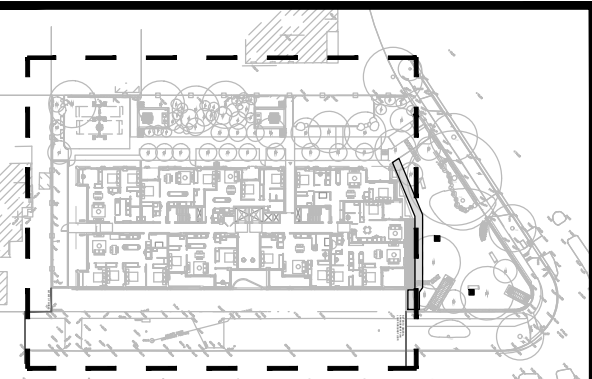
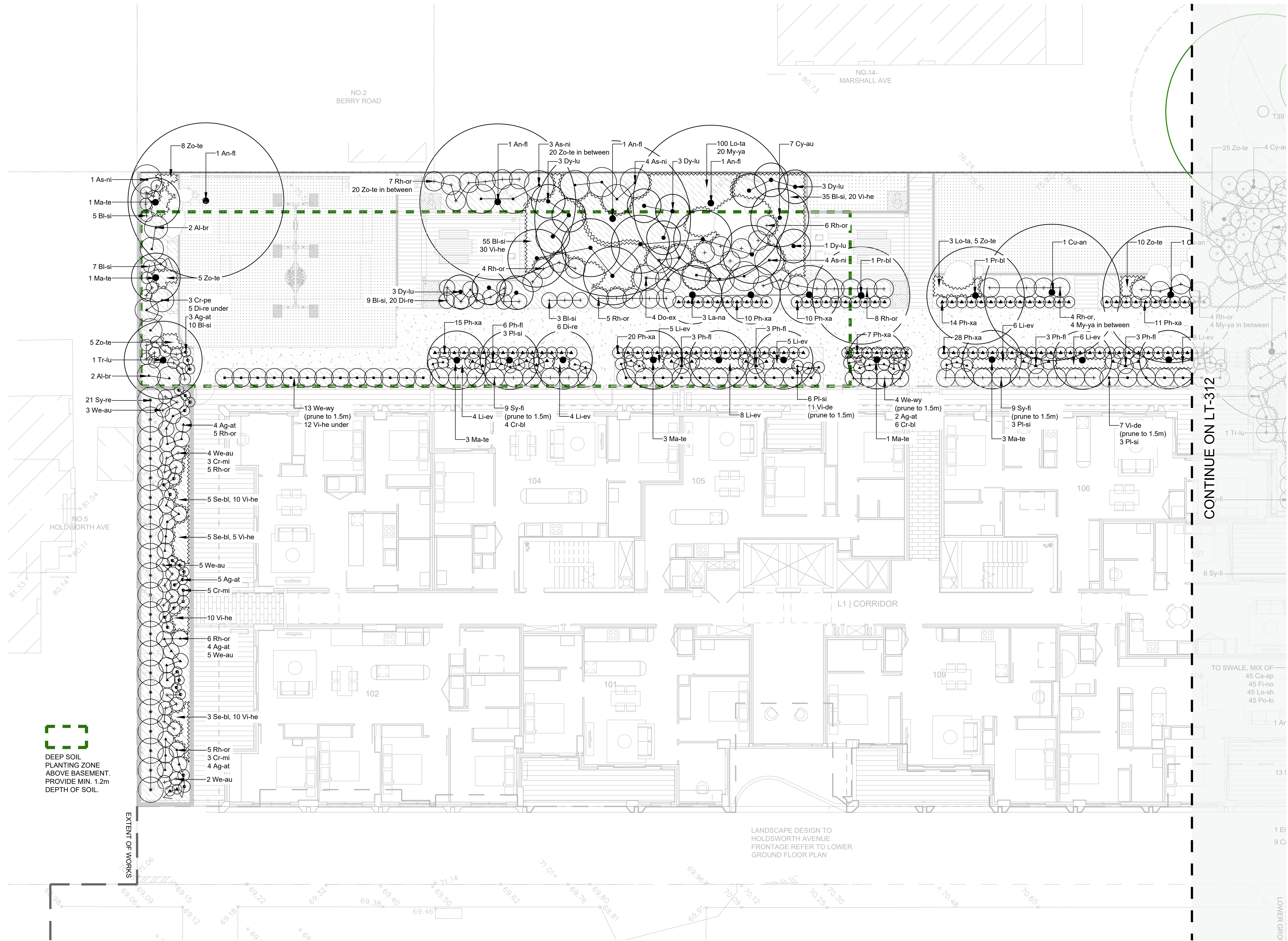


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DRAWING TITLE
L1 General Arrangement Plan
- Sheet 2

SCALE	NORTH POINT
A1	1:100
DRAWING NO.	ISSUE
LT-312	G



KEY PLAN

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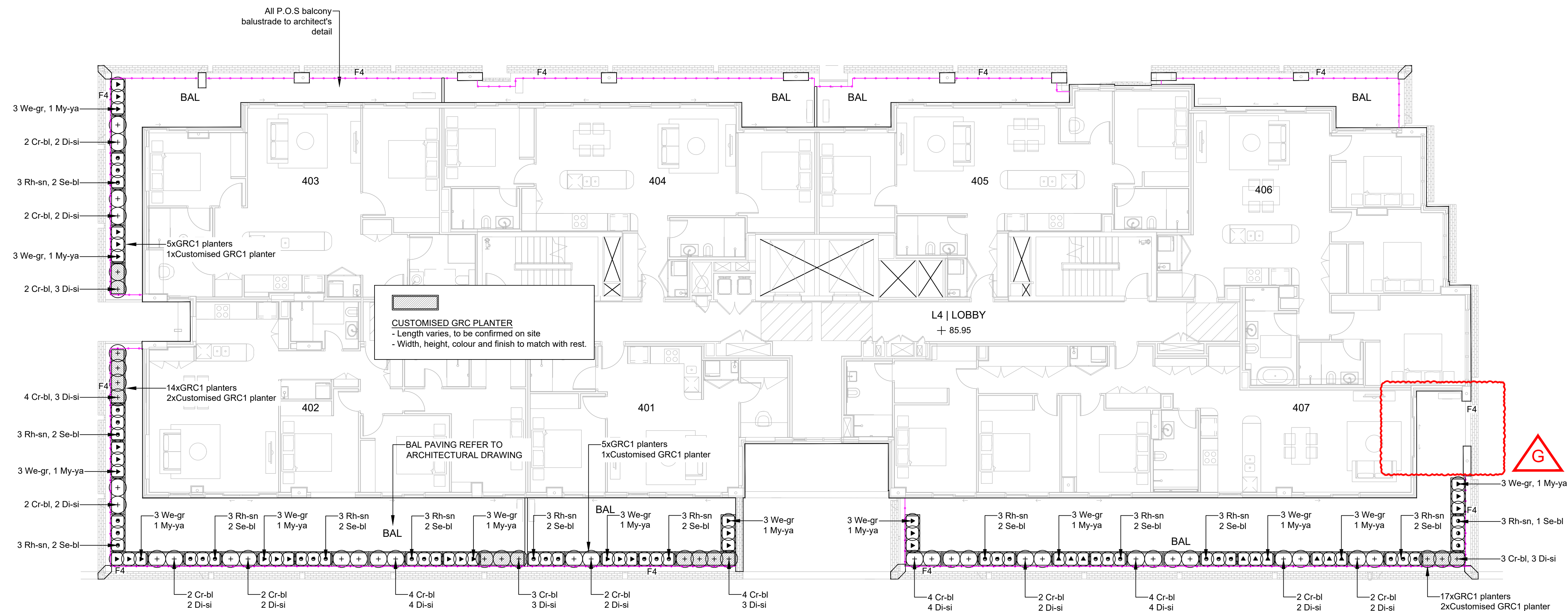
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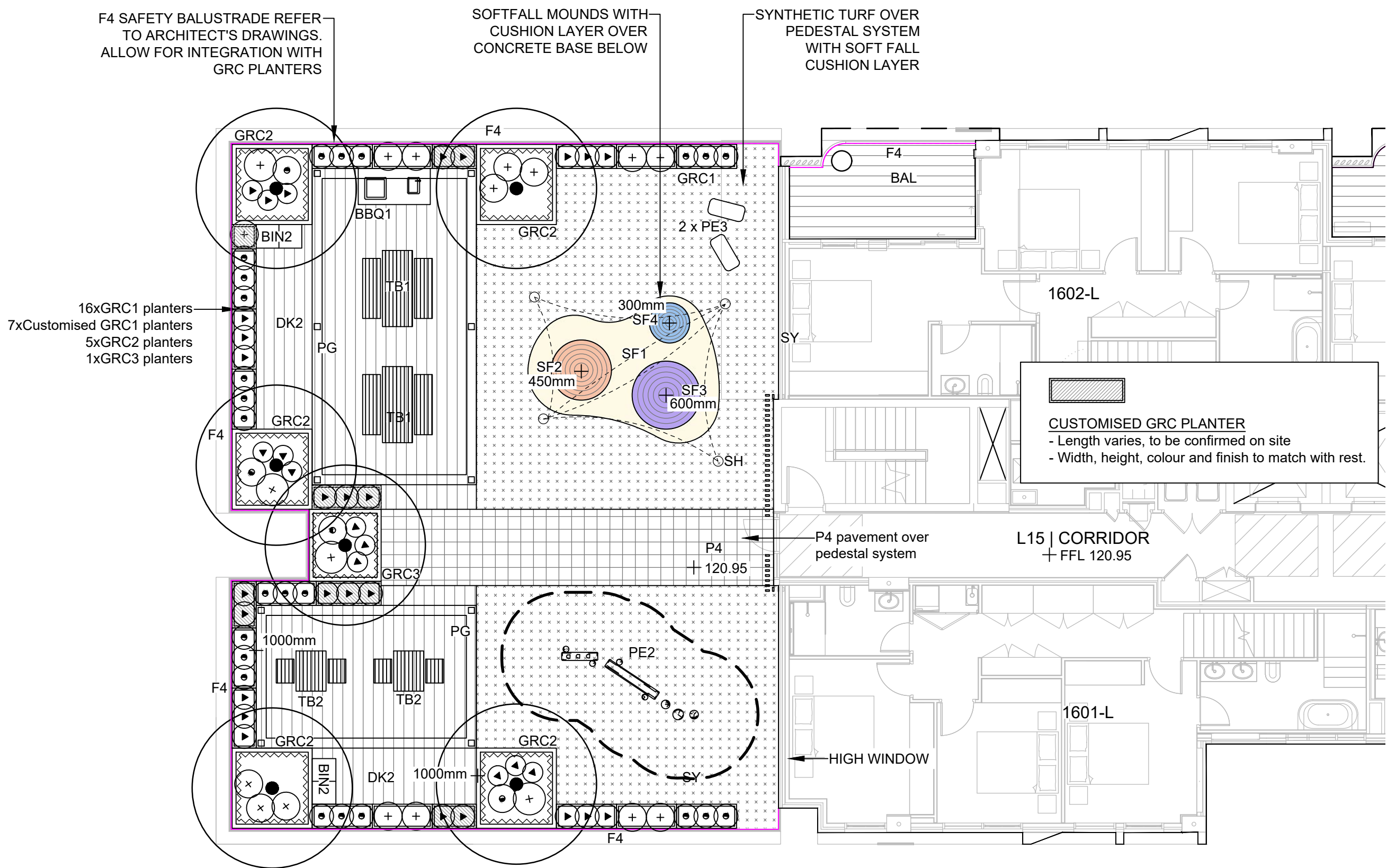
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DRAWING TITLE
L1 Planting Plan
Sheet 1

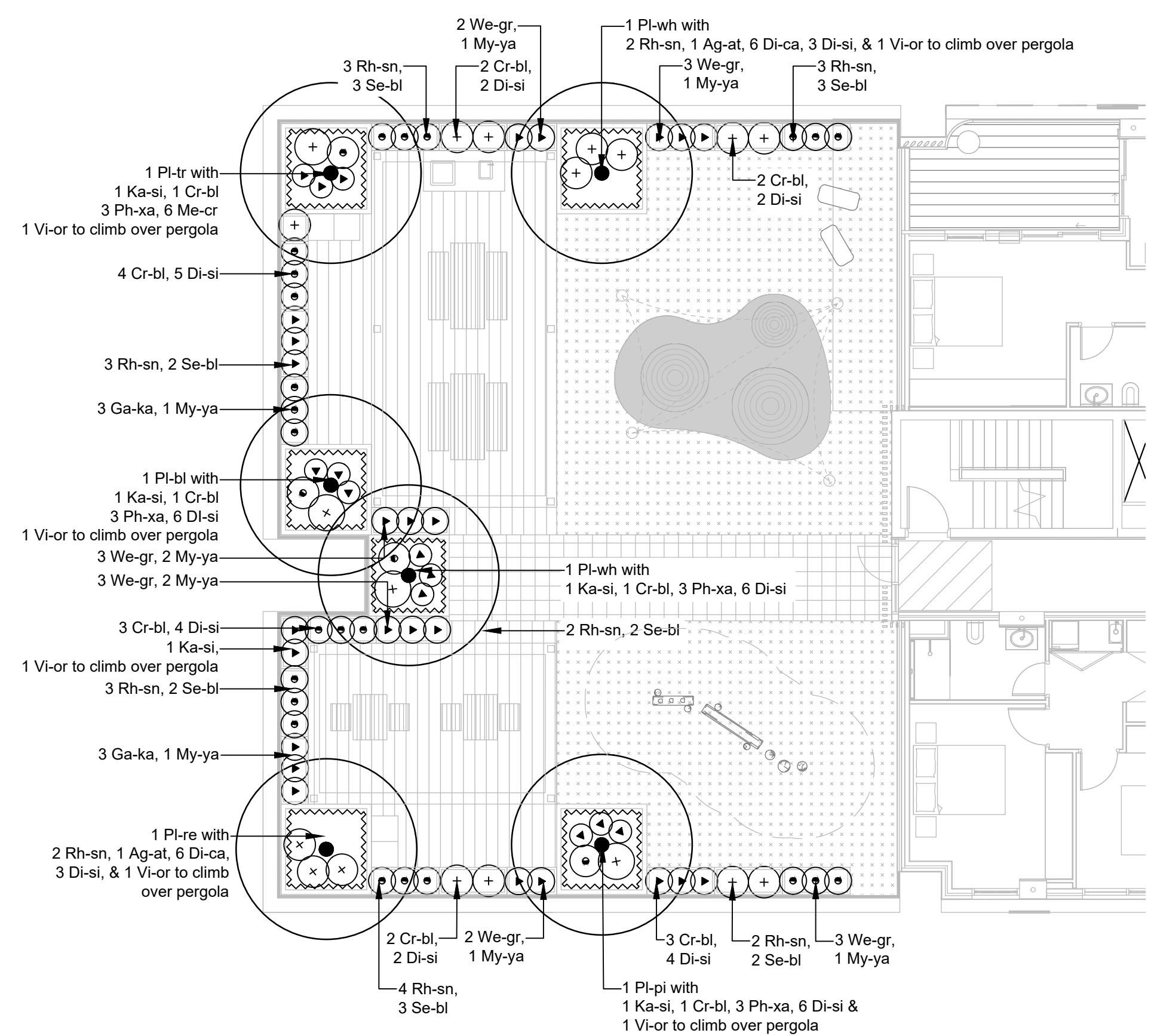
SCALE	NORTH POINT
A1 1:100	
DRAWING NO.	ISSUE
LT-313	G



LEVEL 4 - LANDSCAPE PLAN



LEVEL 15 - GENERAL ARRANGEMENT PLAN



LEVEL 15 - PLANTING PLAN

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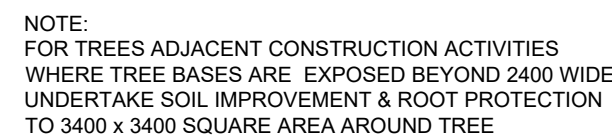
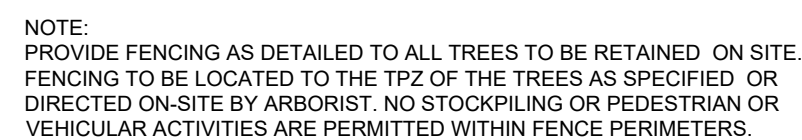
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OCT 2023	LA220927

DRAWING TITLE
**Level 4 & Level 15
Landscape Plans**

SCALE	NORTH POINT
A1 1:100	

DRAWING NO.	ISSUE
LT-321	G



2 NO. 50x50x1800mm HARDWOOD STAKES WITH STAPLED HESSIAN TIES

CONTAINER PLANTING. REFER TO PLANTING SCHEDULE

WATERING BASIN - 100mm DIA. x 75mm HIGH SOIL RING (20lt HOLDING CAPACITY) AROUND TREE COVERED WITH 75mm DEEP 25mm GRADE MULCH AS SPECIFIED.

SPADE EDGE UNLESS OTHERWISE NOTED

75

300

SOIL MIX A

300

SOIL MIX B

FALL

100mm DIA. PERFORATED PVC DRAINAGE PIPE TO BASE OF ALL TREE PITS. WRAPPED IN GEOTEXTILE FABRIC, LAID IN FREE DRAINING CLEAN GRAVEL OR HORTICULTURAL SAND BED WITH 50mm MIN COVER, OVER CULTIVATED SUBGRADE. PIPE CONNECTED TO SITE SW SYSTEM.

The diagram illustrates the vertical construction of a raised garden bed. From top to bottom, the layers are:

- 75mm MULCH**: The top layer of organic material.
- LIGHTWEIGHT TOPSOIL MIX**: The growing medium layer.
- IRRIGATION LINE**: A line with emitters for watering.
- FERTILISER**: A layer of nutrient material.
- LIGHTWEIGHT SUBSOIL MIX**: A base layer for the growing medium.
- GEO FABRIC**: A fabric barrier to prevent soil mixing with the sub-slab.
- WASHED COURSE SAND LAYER**: A drainage layer.
- DRAINAGE CELL**: A channel for water to flow away.
- WATER PROOF MEMBRANE**: A membrane to prevent water from seeping into the sub-slab.
- CONCRETE SLAB BY ENGINEER**: The base structural layer.

Additional details and labels include:

- WPM TO EXTENT UP SIDE OF WALL FOR MIN 50mm**: Water proof membrane detail on the side wall.
- SIDE OF PLANTER OR BUILDING WALL REFER TO ARCHITECT'S DETAILS**: Reference to architectural drawings for wall details.
- VARIES 300 MAX**: Dimension indicating the height of the planter box.
- 75**: Dimension indicating the height of the mulch layer.
- DRAINAGE INSPECTION UPSTAND WITH SCREW CAP FOR CLEARING ACCESS**: A vertical access point for the drainage system.
- DRAINAGE TO STORMWATER SYSTEM**: The final destination for the collected water.
- TREE SET VERTICAL PLANT SPECIES REFER TO PLANS & SCHEDULE**: Reference to planting plans for tree species.
- WPM TERMINATE INTO DRAINAGE CELL**: Detail showing the membrane meeting the drainage system.
- NOTE: FINISHED BASE OF PLANTER BOX SHOULD FALL FROM TOP OF SLAB TO DRAINAGE OUTLETS**: A critical note about the base level.

Diagram illustrating the cross-section of a drainage system. The layers from top to bottom are:

- BREAK UP & CULTIVATE SUBGRADE TO 150mm DEPTH
- PROPOSED TURF REFER TO SPECIFICATION
- TURF UNDERLAY REFER SPECIFICATION
- SAND LAYER
- AG DRAINAGE LINE WRAPPED WITH GEOTEXTILE AND BACKFILLED WITH AGGREGATE. LOCATION REFER TO CIVIL'S DRAWINGS
- ENSURE BASE OF TRENCH FALLS TO WATER OUTLET OR DRAINAGE CONNECTION

Dimensions: 150 (height of the top layer), 100 (height of the sand layer).

ADJOINING STEPPING STONES WITH PLANTING

75mm H x 1.6mm GAUGE FABRICATED STEEL EDGE STRIP (MAX 3M LENGTH) REFER SPECIFICATION

ADJOINING SURFACE REFER TO PLAN FOR MATERIALS AND LEVELS

300MM LONG EDGE SPIKE, 1 EDGE SPIKE PER METRE

The diagram illustrates a cross-section of a retaining wall. On the left, a hatched area represents the ground behind the wall. A concrete or masonry wall is shown with a vertical face. A steel edge strip is embedded into the top of the wall, extending horizontally. Above the wall, a series of stepping stones are shown with small plants growing between them. The edge strip is secured into the wall by vertical edge spikes. The ground in front of the wall is shown with a hatched pattern, and a layer of material is indicated above the wall face.

Diagram illustrating the planting process for a 75L plant, showing the sequence of steps and the resulting structure:

- STAKE AND TIE AS SPECIFIED FOR 75LT PLANTS.** (Indicated by a line pointing to the stake and tie mechanism.)
- CONTRACTOR TO PLACE 2X HARDWOOD STAKES 38X38X1600mm LONG PER PLANT. DRIVE INTO GROUND FOR AT LEAST A THIRD OF THEIR LENGTH.** (Indicated by a line pointing to the stakes.)
- EXCAVATE PLANTING HOLE NOT LESS THAN 100mm WIDE AND DEEPER THAN PLANT CONTAINER.** (Indicated by a line pointing to the hole.)
- INSTALL 300mm OF PLANTING MIX AS SPECIFIED. THOROUGHLY ROTARY HOE INTO BROKEN UP SUBGRADE.** (Indicated by a line pointing to the planting mix layer.)
- CULTIVATE SUBGRADE BASE OF PIT TO 200mm. ADD GYPSIUM (IF REQUIRED) AT MANUFACTURER'S RECOMMENDED RATE.** (Indicated by a line pointing to the subgrade base.)
- FORM WATERING DISH TO EACH PLANT. REDUCE DEPTH OF MULCH AT BASE OF PLANT** (Indicated by a line pointing to the watering dish.)
- MULCH AS SPECIFIED 75mm DEPTH** (Indicated by a line pointing to the mulch layer.)
- PLANT AS PER SCHEDULE** (Indicated by a line pointing to the plant being placed.)

The diagram shows a cross-section of the ground with layers: Subgrade (hatched), Planting Mix (dotted), and Mulch (cross-hatched). A plant is shown in a container being placed into a hole. A stake and tie are shown being installed. A watering dish is shown being formed around the plant. Dimensions are indicated: 75mm for mulch, 300mm for planting mix, and 200mm for subgrade.

A cross-sectional diagram of a slope with a hatched pattern representing the soil. Three plants are shown in a row, each in a rectangular hole. A line labeled 'FALL 7.3 MAX' points to the slope. A vertical line on the left is labeled '300' and 'SOL MAX'. A line points to the top of the slope, labeled 'WATER RESERVOIR AND WATERING POINT. ALLOW FOR SLOW DRIP IRRIGATION TO ELIMINATE WASHING OUT OF SOIL & ROOT EXPOSURE.' Another line points to the plants, labeled 'JUTE MATT PINNED WITH 2 PINS PER SQM.' A third line points to the plants, labeled 'PLANT TO BE SET VERTICAL, NOT PERPENDICULAR TO SLOPE.' A fourth line points to the bottom of the slope, labeled 'BERM, DOWNHILL SIDE ONLY.' A fifth line points to the bottom of the slope, labeled 'BACKFILL SOIL TO BE FREE FROM CLUMPS CULTIVATED TO A GOOD TILT. BACK-FILL CONSIST OF TOP SOIL AS SPECIFIED. POST IN THE MIDDLE OF HOLE WITH THE TRUNK VISIBLE & NOT COVERED. ADD LOOSE SOIL ROOTS. LIGHTLY TAMP SOIL UNTIL AIR POOR REMOVED. HOWEVER, SOIL IS NOT TO BE TO A POINT WHERE WATER IS REPELLED. F. TO BE FLOOD WATERED IN THEIR POTS PRIOR TO PLANTING AND FLOOD WATERED WITHIN 30 DAYS AFTER PLANTING.'

SOIL PROFILES OF BASIN TO CIVIL ENGINEER'S DETAILS & SPECIFICATION

MATRIX PLANTING - VIROTUBE 150 x 150 mm PLANTING HOLE WITH SOIL TYPE A INSTALL WETTING AGENT AS SPECIFIED

BIODEGRADABLE EROSION CONTROL FINE JUTE MATTING AS SPECIFIED

300

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PRELIMINARY
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PROJECT:

3 HOLDSWORTH AVE, ST LEONARDS
NSW 2065

CLIENT:

**NEW GOLDEN ST LEONARDS
PTY LTD**

PROJECT CONTACT

STUDIO 12

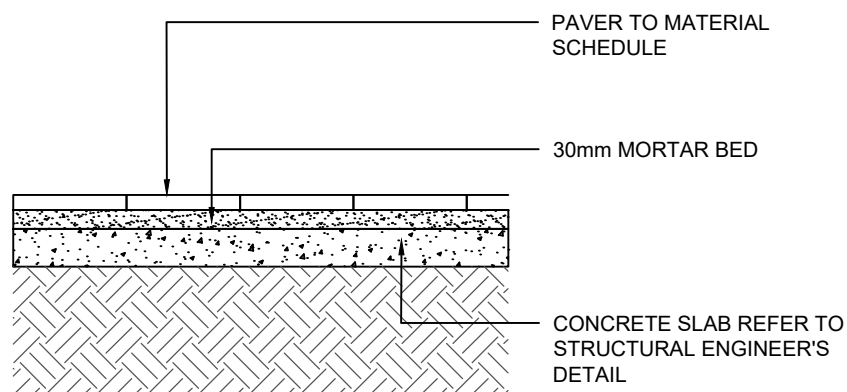
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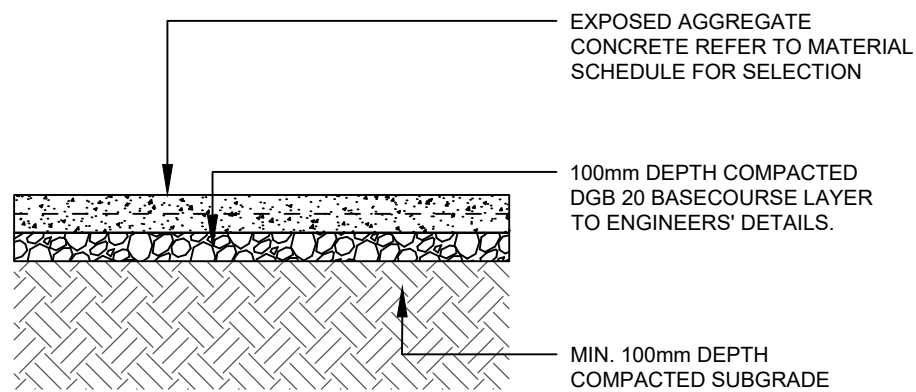
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**Typical Details -
Sheet 1**

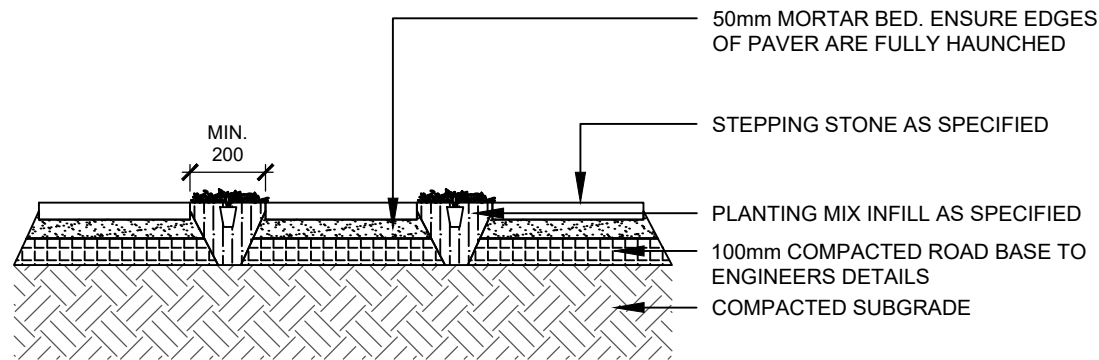
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DRAWING NO. LT-700	ISSUE G



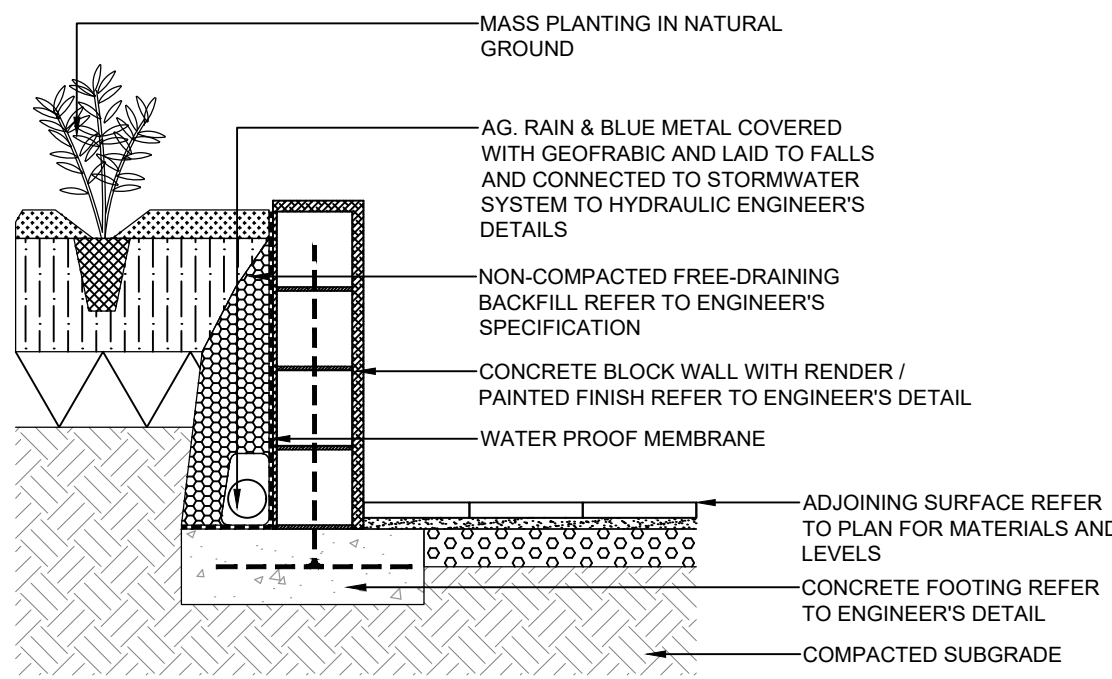
01 UNIT PAVING
TYPICAL SCALE 1:20



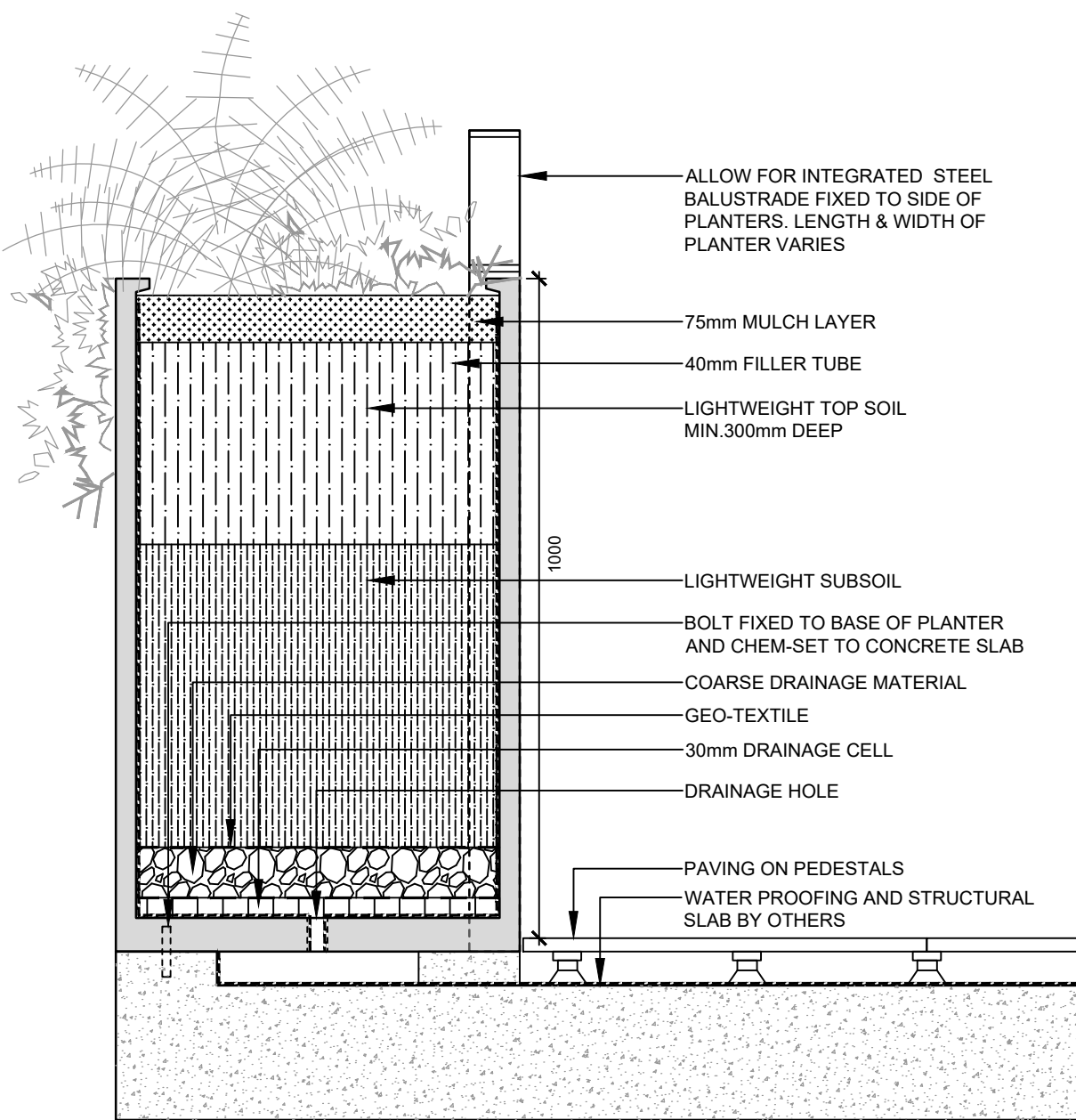
02 CONCRETE PAVING
TYPICAL SCALE 1:20



03 STEPPING STONE IN GARDEN BED
TYPICAL SCALE 1:20



04 CONCRETE BLOCK RETAINING WALL
TYPICAL DETAIL 1:20



NOTE:
1. GRC planter and wicking system indicative only -shop drawings to be provided by manufacturer
2. THE POSITION OF THE DRAINAGE HOLE/S IN RELATION TO THE DRAINAGE CELL, GEOFABRIC AND PLANTING/FILTRATION MEDIA WILL NEED TO BE ADDRESSED AS PART OF THE SHOP DRAWING PROCESS
3. IRRIGATION SYSTEM TO BE PROVIDED TO ALL PLANTER AS PART OF THE SHOP DRAWING PROCESS.

05 GRC PLANTER WITH BALUSTRADE
TYPICAL DETAIL 1:10

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B	23/05/2023	ISSUED FOR 70% TENDER
A	11/04/2023	ISSUED FOR 70% TENDER
REV	DATE	DESCRIPTION

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
3 HOLDSWORTH AVE, ST LEONARDS
NSW 2065

CLIENT:
NEW GOLDEN ST LEONARDS
PTY LTD

PROJECT CONTACT

STUDIO IZ

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APPROVED	DRAWN
KG	XL / YR / BW
DATE CREATED	PROJECT NO.
OCT 2023	LA220927

DRAWING TITLE
Typical Details -
Sheet 2

SCALE	NORTH POINT
A1 As Shown	
DRAWING NO.	ISSUE
LT-701	G